

NORTHCLIFFE BOULEVARD

ZONING

LOT 20 Part of 49K-11
REGISTERED PLAN 1583
RM (f12.0 u2;d0.8) (x252)

Min. Lot Frontage- 12m
Floor Space Index-0.8
Max Building Depth- 17m
Max Height- 11m
Max No. of Storeys- 3

SETBACKS

Min Setback From Lanes- 2.5m from centerline
Min. Front Yard Setback- 6m
Min. Rear Yard Setback- 7.5m or 25% of the lot depth
Min. Side Yard Setback- 1.2m

EXISTING

LAND PARCEL 278.7 Sq m (3000 Sq ft)

FIRST FLOOR AREA 71.4 Sq m (769 Sq ft)
SECOND FLOOR AREA 76.7 Sq m (826 Sq ft)
THIRD FLOOR AREA 35.8 Sq m (386 Sq ft)

Total Existing GFA (not including detached Garage)=
183.9 Sq m (1981 Sq ft)

Existing Floor Space Index- 0.66

EXISTING DWELLING LENGTH- 12.2m (40' 1")

PROPOSED

REAR SETBACK- 1.68 m (55'-2")
FRONT SETBACK- No Change 5.19 m (17")
SIDE SETBACK- No Change 0.57m (1' 10-7/16")

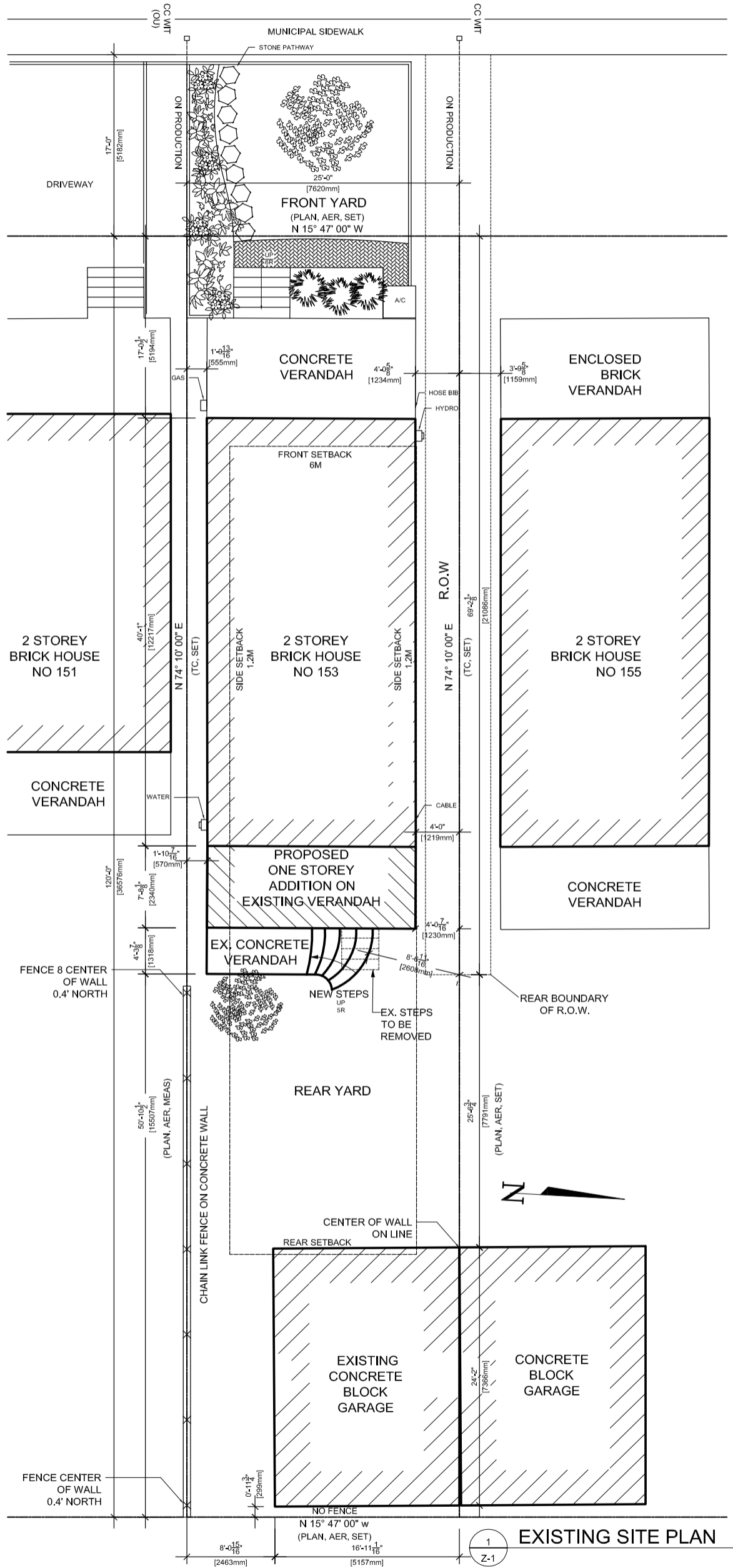
ADDITION FLOOR AREA (ONLY)- 13.5 sq m (146 sq ft)
EXISTING GFA- 183.9 Sq m (1981 Sq ft)
NEW TOTAL GFA=
197.4 Sq m (2127 Sq ft)

PROPOSED FLOOR SPACE INDEX- 0.71

PROPOSED DWELLING LENGTH
14.6 m (47' 9-1/4")

DRAWING LIST

- Z-1 SITE PLAN
- D-1 BASEMENT DEMO PLAN
- D-2 FIRST FLOOR DEMO PLAN
- D-3 EXTERIOR DEMO ELEVATION
- A-1 PROPOSED BASEMENT PLAN
- A-2 PROPOSED FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 EXISTING THIRD FLOOR PLAN
- A-5 PROPOSED ROOF PLAN
- E-1 EXTERIOR ADDITION EAST ELEVATION
- E-2 EXTERIOR SOUTH ELEVATION
- E-3 NEW ADDITION SECTION
- E-4 NEW ADDITION INTERIOR ELEVATIONS
- E-5 NEW ADDITION INTERIOR ELEVATIONS
- S-1 BASEMENT STRUCTURAL PLAN
- S-2 NEW ADDITION CEILING FRAMING PLAN
- S-3 NEW ADDITION ROOF FRAMING PLAN
- S-4 NEW FOUNDATION AND STAIRS DETAILS
- S-5 STRUCTURAL NOTES
- SP-1 INFLOOR HEATING SPECS
- SP-2 SKYLIGHTS MANUFACTURER'S SPECS
- N-1 BUILDING SCHEDULES
- N-2 OBC NOTES
- N-3 OBC NOTES
- N-4 OBC NOTES



EXISTING SITE PLAN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

NAME	SIGNATURE	BCIN
REGISTRATION	INFORMATION	
COMPANY	SIGNATURE	BCIN

AGAINST ANY UNAUTHORIZED REPRODUCTION
CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER
DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

SITE:	REASON	INITIAL	DATE
	design		07/10/11
	submission for permit		1/12/11

SITE PLAN

SCALE: 0' IMPERIAL SCALE 12'
3'
914MM METRIC SCALE 3658MM

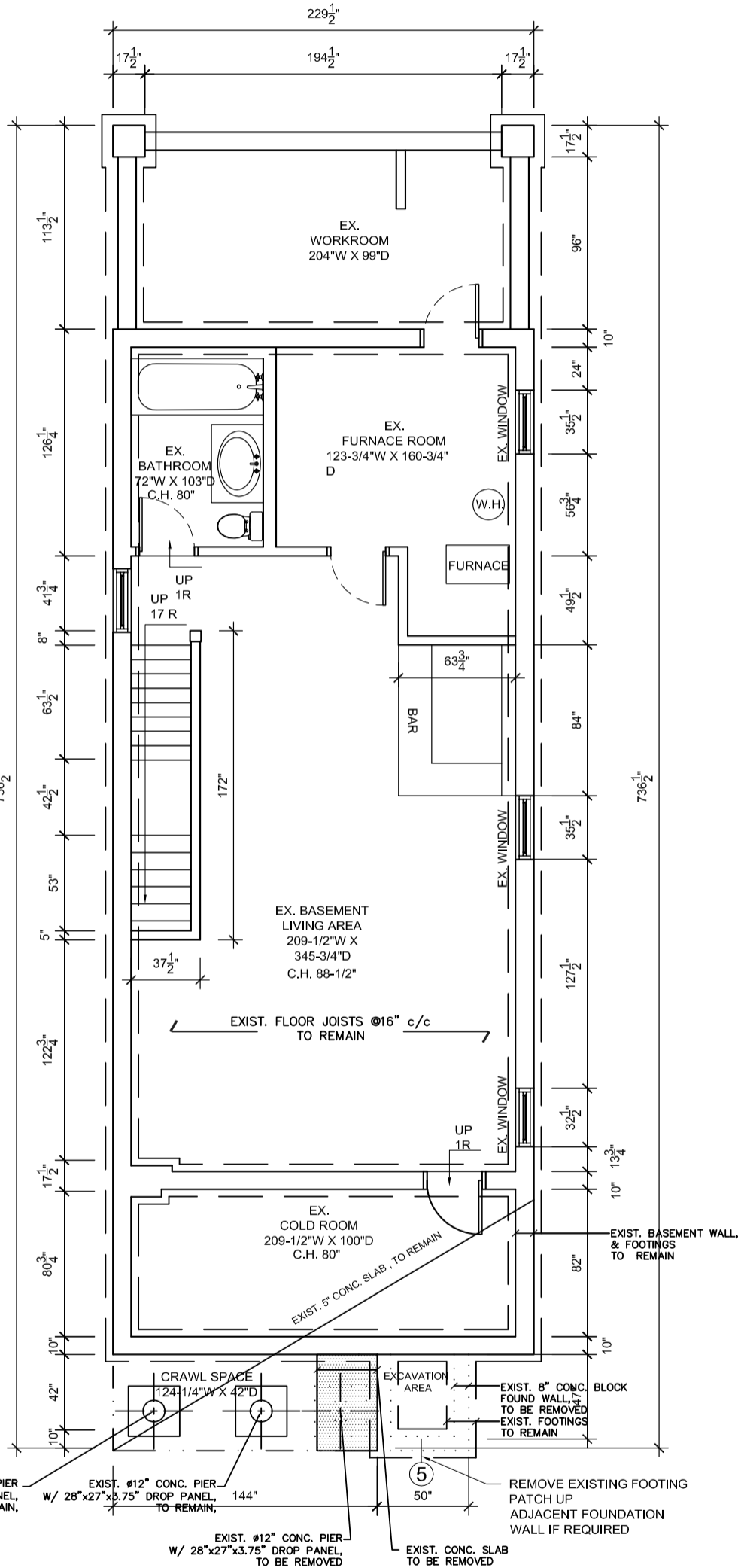
DWG NO: Z-1
DRAWN BY: K.L & M.M.
CHECKED BY: T.M.
DATE: 01/12/11

DEMOLITION PLAN KEY NOTES

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
①	EXISTING WALLS (SHOWN AS DASHED) INCLUDING DOORS AND WINDOWS, TO BE REMOVED AND DISPOSED OF, AS PER CONTRACTOR. ANY SERVICES IN WALLS MUST BE LEFT FOR QUALIFIED ELECTRICIAN, PLUMBER OR HVAC CONTRACTOR TO REMOVE/ RELOCATE AND RECONNECTED IF REQUIRED. SEE S-2 FOR WALL REMOVAL UNDER BM-1	③	EXISTING APPLIANCES TO BE REMOVED. TO ACCOMMODATE NEW CABINETRY AND REINSTALLED IN SAME LOCATION	⑥	EXISTING CONCRETE STAIRS TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
②	EXISTING CABINETS TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.	④	EXISTING DOOR(S) TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.	⑦	EXISTING TILES TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
		⑤	EXISTING STAIR FOUNDATION WALL & SECTION OF FOUNDATION WALL UNDER EXISTING CONC. DECK TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. INTEGRITY OF ADJACENT FOUNDATION WALL SHALL BE MAINTAINED.	⑧	EXISTING RAILING TO BE REMOVED FROM CONCRETE CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. SALVAGE PICKETS
				⑨	EXISTING SILL TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.

EXCAVATION NOTES:

THE BOTTOM OF EVERY EXCAVATION SHALL BE FREE OF ORGANIC MATERIAL.
 EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER.
 THE BOTTOM OF EXCAVATIONS SHALL BE KEPT FROM FREEZING.
 EXCAVATION SHALL BE UNDERTAKEN TO PREVENT DAMAGE TO ADJOINING PROPERTY, EXISTING STRUCTURES, UTILITIES AT ALL STAGES OF CONSTRUCTION.
 O.B.C. 9.12



PROVIDE NECESSARY TEMPORARY SHORING

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QUALIFICATION INFORMATION

39135

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

40027

COMPANY SIGNATURE BCIN



BASEMENT DEMO PLAN

AGAINST ANY UNAUTHORIZED REPRODUCTION

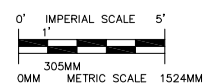
CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER

DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

SITE:

BASEMENT DEMO PLAN

SCALE:



DWG NO:

D-1

DRAWN BY:

K.L. & M.M.

CHECKED BY:

T.M.

DATE: 01/12/11

REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

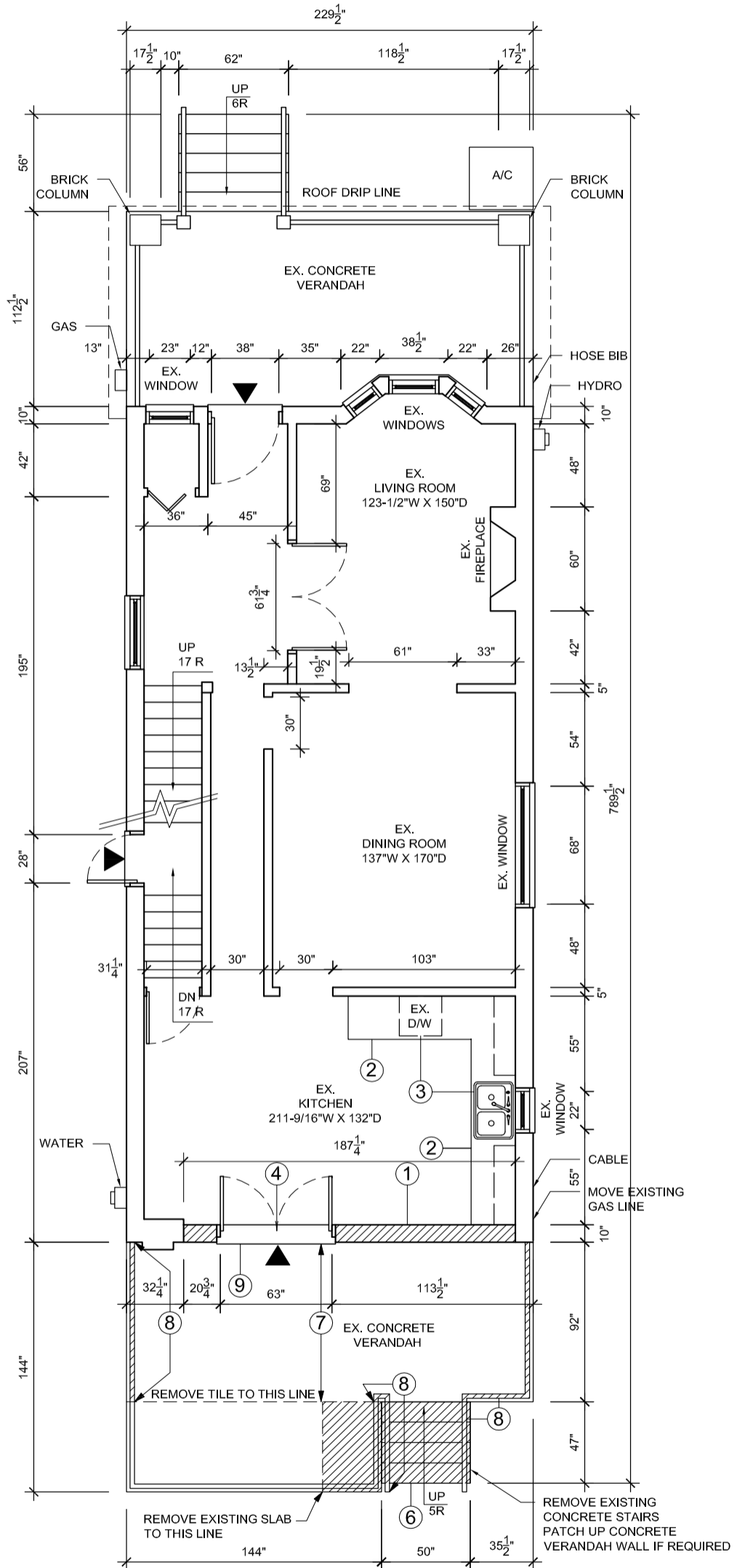
DEMOLITION PLAN KEY NOTES

SYMBOL DESCRIPTION

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- ② EXISTING CABINETS TO BE REMOVED, AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
- ③ EXISTING APPLIANCES TO BE REMOVED. TO ACCOMMODATE NEW CABINETRY AND REINSTALLED IN SAME LOCATION
- ④ EXISTING DOOR(S) TO BE REMOVED, AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
- ⑤ EXISTING FOUNDATION WALL TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. INTEGRITY OF ADJACENT FOUNDATION WALL SHALL BE MAINTAINED.
- ⑥ EXISTING CONCRETE STAIRS TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
- ⑦ EXISTING TILES TO BE REMOVED FROM CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
- ⑧ EXISTING RAILING TO BE REMOVED FROM CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. SALVAGE PICKETS
- ⑨ EXISTING SILL TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.

EXCAVATION NOTES:

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 O.B.C. 9.12



PROVIDE NECESSARY TEMPORARY SHORING

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QUALIFICATION INFORMATION		
	39135	
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
	40027	
COMPANY	SIGNATURE	BCIN



1
D-2

FIRST FLOOR DEMO PLAN

AGAINST ANY UNAUTHORIZED REPRODUCTION

CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER

DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

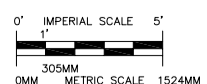
SITE:



REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

FIRST FLOOR DEMO PLAN

SCALE:



DWG NO:

D-2

DRAWN BY:

K.L & M.M.

CHECKED BY:

T.M.

DATE: 01/12/11

DESIGN REQUIREMENTS

Steel Structural Members shall conform to CAN/CSA-S16 "Limit States Design of Steel Structures" O.B.C. 4.3.4

Anchor Systems on Building Exterior shall be S.S or corrosion resistant or galvanized O.B.C. 4.4.4

Precautions shall be taken during all stages of construction to ensure that the building is not damaged or distorted due to loads applied during construction O.B.C.4.1.1.3

4 EX. ROOF PEAK
31' 3-1/2" (9538mm)

3 3rd. FLR. F. LEVEL
17' 11" (5461mm)

2a 2nd FLR. F. LEVEL
8' 11-1/2" (2731mm)

1 1st FLR. F. LEVEL
0' 0" (0mm)

-1 REAR YARD GRADE
-3' 3-1/2" (-1003mm)

97" + BEAM HEIGHT + 2"

EXISTING ROOF

EX. WINDOW

187 5/16"

NEW OPENING IN EXTERIOR WALL
(SEE S-2 FOR WALL REMOVAL PROCEDURE)

ALIGN W/ FIRST FLOOR F.F. LEVEL

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COMPANY SIGNATURE BCIN

PROVIDE NECESSARY TEMPORARY SHORING

1
D-3

EXTERIOR DEMO. ELEVATION

AGAINST ANY UNAUTHORIZED REPRODUCTION

CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER

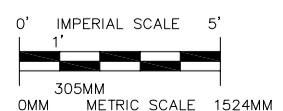
DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

SITE:

Whalerjack
225 Sterling Road, Unit 200B
Toronto, ON, M5R 2B2

EXTERIOR DEMO. ELEVATION

SCALE:



DWG NO: **D-3**

DRAWN BY: K.L & M.M.

CHECKED BY: T.M.

DATE: 01/12/11

REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

STRUCTURAL INTEGRITY:

All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability. O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY NOTES:

Verify/reinforce existing support system, including foundations, for loads imposed by the proposed construction

INTERIOR FINISHES

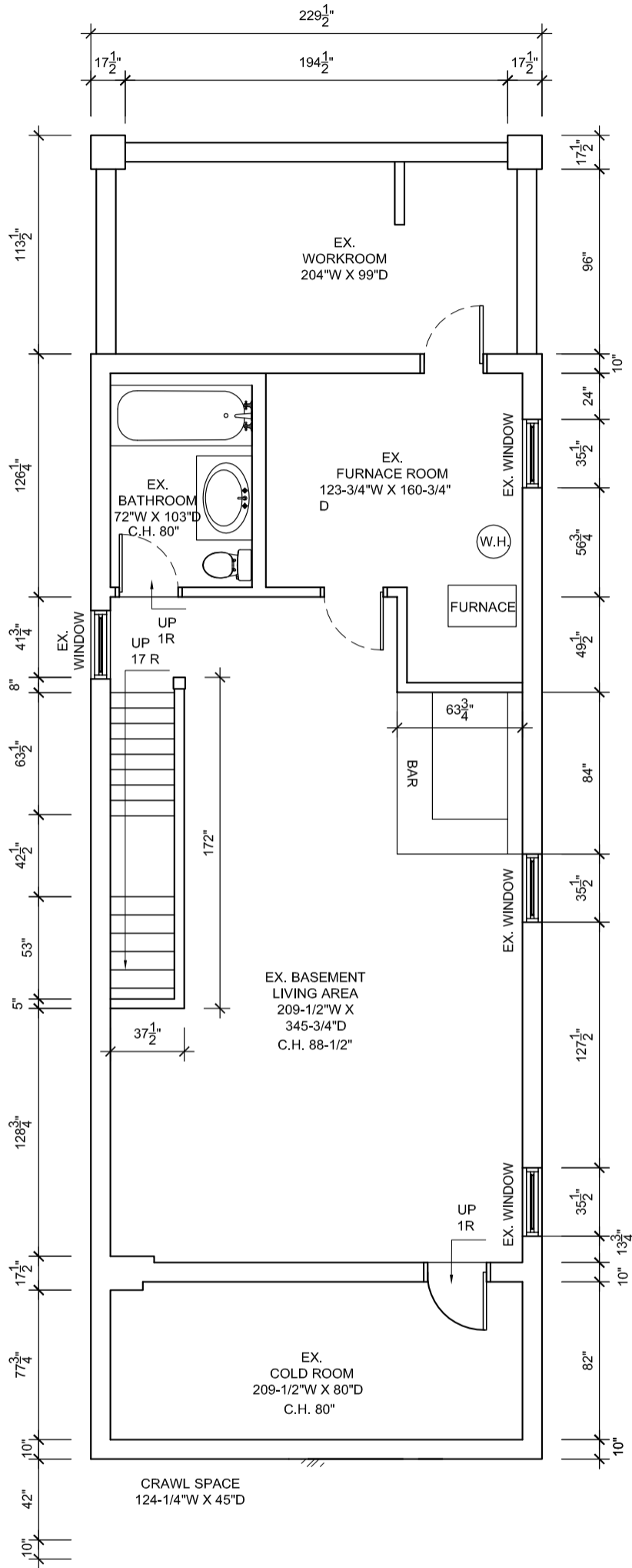
Flame Spread Rating of interior walls and ceiling finishes, max 150.

Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.

Light Diffusers, max FSR 250 and Smoke Classification rating max 600
O.B.C. 9.10.17

INTERIOR

All new wall switches and shall not be more than 1.2m above finished floor.



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PROPOSED BASEMENT PLAN

AGAINST ANY UNAUTHORIZED REPRODUCTION

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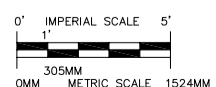
SITE:



REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

PROPOSED BASEMENT PLAN

SCALE:



DWG NO: **A-1**

DRAWN BY: K.L. & M.M.

CHECKED BY: T.M.

DATE: 01/12/11

STRUCTURAL INTEGRITY:

All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability. O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY NOTES:

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INTERIOR FINISHES

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Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.

Light Diffusers, max FSR 250 and Smoke Classification rating max 600 O.B.C. 9.10.17

INTERIOR

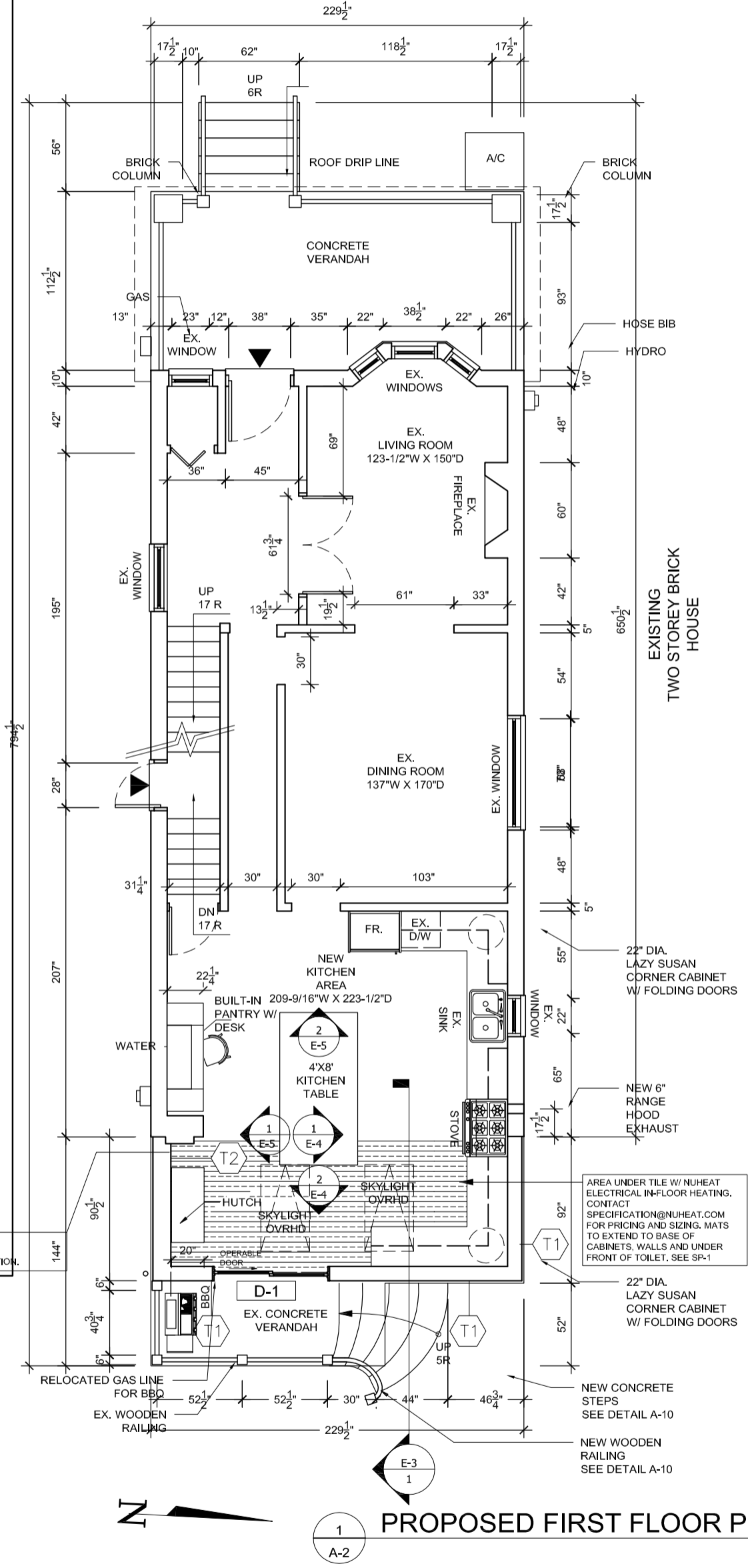
All new wall switches and shall not be more than 1.2m above finished floor.

RANGE HOOD EXHAUST

Supply return and exhaust air openings located less than 2000, above the floor shall be protected by grilles having openings of a size that will not allow the passage of a 15mm diameter sphere.

Combustible grilles, diffusers and other devices for supply, return and exhaust air openings in rooms shall conform to the flame-spread rating of 150 and Smoke development classification of 600

O.B.C 6.2.3.12



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INDICATES NUHEAT FLOOR-SENSING THERMOSTAT LOCATION.

AREA UNDER TILE W/ NUHEAT ELECTRICAL IN-FLOOR HEATING. CONTACT SPECIFICATION@NUHEAT.COM FOR PRICING AND SIZING. MATS TO EXTEND TO BASE OF CABINETS, WALLS AND UNDER FRONT OF TOILET. SEE SP-1

22" DIA. LAZY SUSAN CORNER CABINET W/ FOLDING DOORS

NEW CONCRETE STEPS SEE DETAIL A-10

NEW WOODEN RAILING SEE DETAIL A-10



1 PROPOSED FIRST FLOOR PLAN
A-2

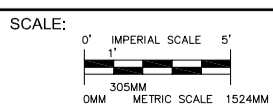
AGAINST ANY UNAUTHORIZED REPRODUCTION

CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER

DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

SITE:		
Whalerjack 225 Sterling Road, Unit 200B Toronto, ON, M6R 2B2		
REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

PROPOSED FIRST FLOOR PLAN



DWG NO: **A-2**

DRAWN BY: K.L. & M.M.

CHECKED BY: T.M.

DATE: 01/12/11

STRUCTURAL INTEGRITY:

All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability. O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY NOTES:

Verify/reinforce existing support system, including foundations, for loads imposed by the proposed construction

INTERIOR FINISHES

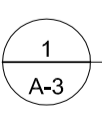
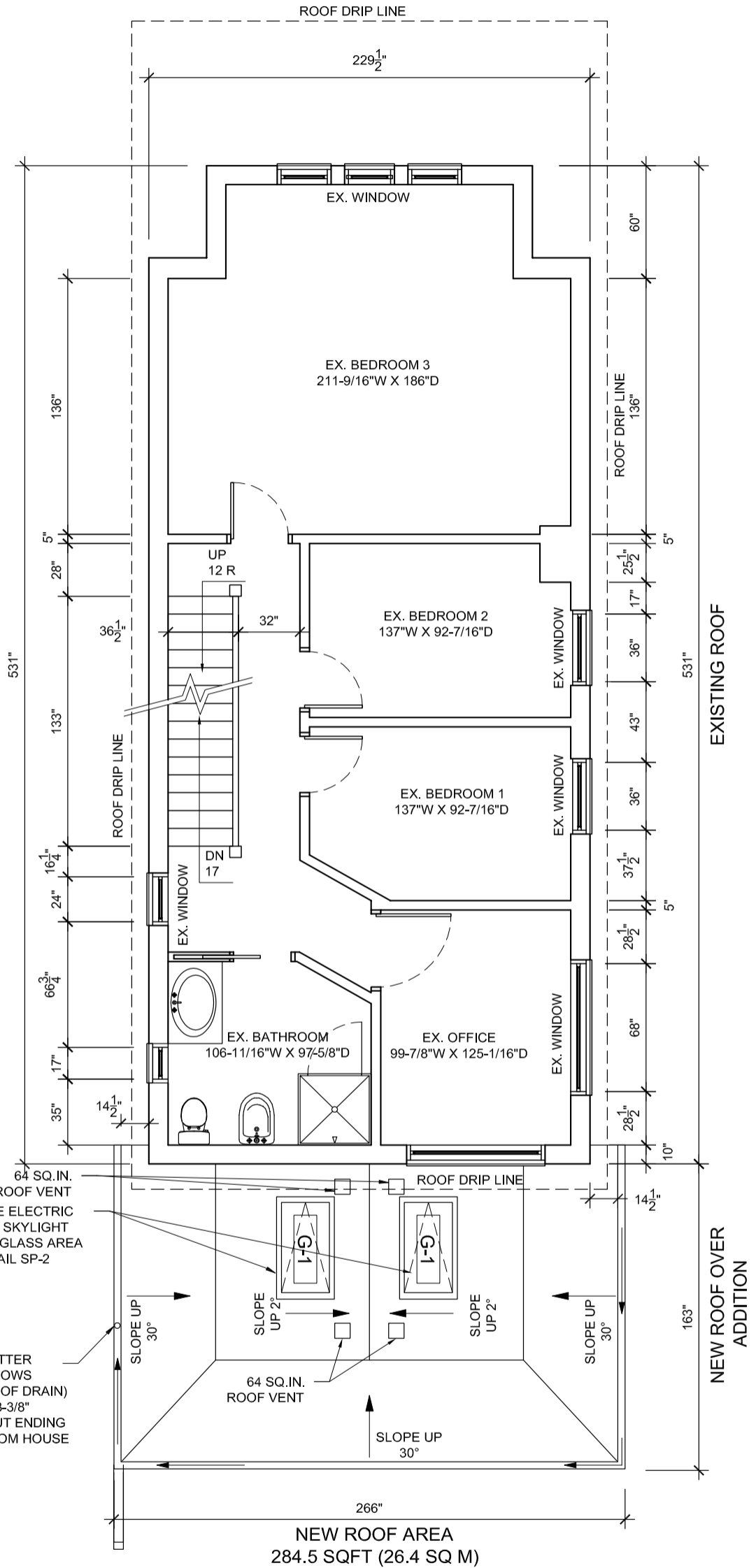
Flame Spread Rating of interior walls and ceiling finishes, max 150.

Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.

Light Diffusers, max FSR 250 and Smoke Classification rating max 600 O.B.C. 9.10.17

INTERIOR

All new wall switches and shall not be more than 1.2m above finished floor.



PROPOSED SECOND FLOOR PLAN

PROVIDE NECESSARY TEMPORARY SHORING

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REGISTRATION INFORMATION		
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		40027

AGAINST ANY UNAUTHORIZED REPRODUCTION

CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER

DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

SITE:

Whalerjack
225 Sterling Road, Unit 200B
Toronto, ON, M6R 2B2

REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

SECOND FLOOR PLAN

SCALE:

0" IMPERIAL SCALE 5'

305MM METRIC SCALE 1524MM

DWG NO:
A-3

DRAWN BY:
K.L. & M.M.

CHECKED BY:
T.M.

DATE: 01/12/11

STRUCTURAL INTEGRITY:

All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability. O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY NOTES:

Verify/reinforce existing support system, including foundations, for loads imposed by the proposed construction

INTERIOR FINISHES

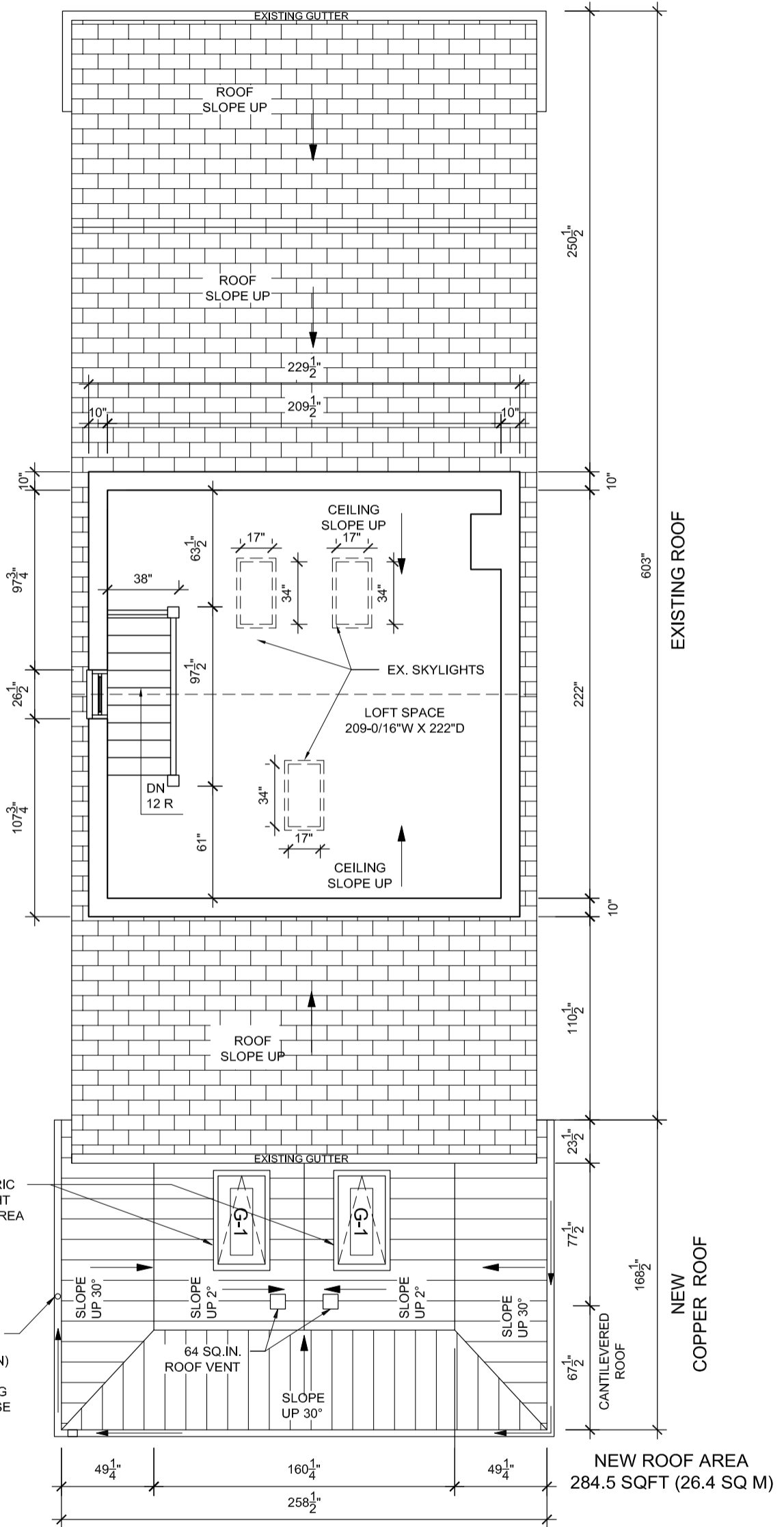
Flame Spread Rating of interior walls and ceiling finishes, max 150.

Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.

Light Diffusers, max FSR 250 and Smoke Classification rating max 600
O.B.C. 9.10.17

INTERIOR

All new wall switches and shall not be more than 1.2m above finished floor.



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		BCIN



EXISTING THIRD FLOOR PLAN

AGAINST ANY UNAUTHORIZED REPRODUCTION

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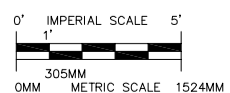
SITE:



REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

EXISTING THIRD FLOOR PLAN

SCALE:



DWG NO:

A-4

DRAWN BY:

K.L. & M.M.

CHECKED BY:

T.M.

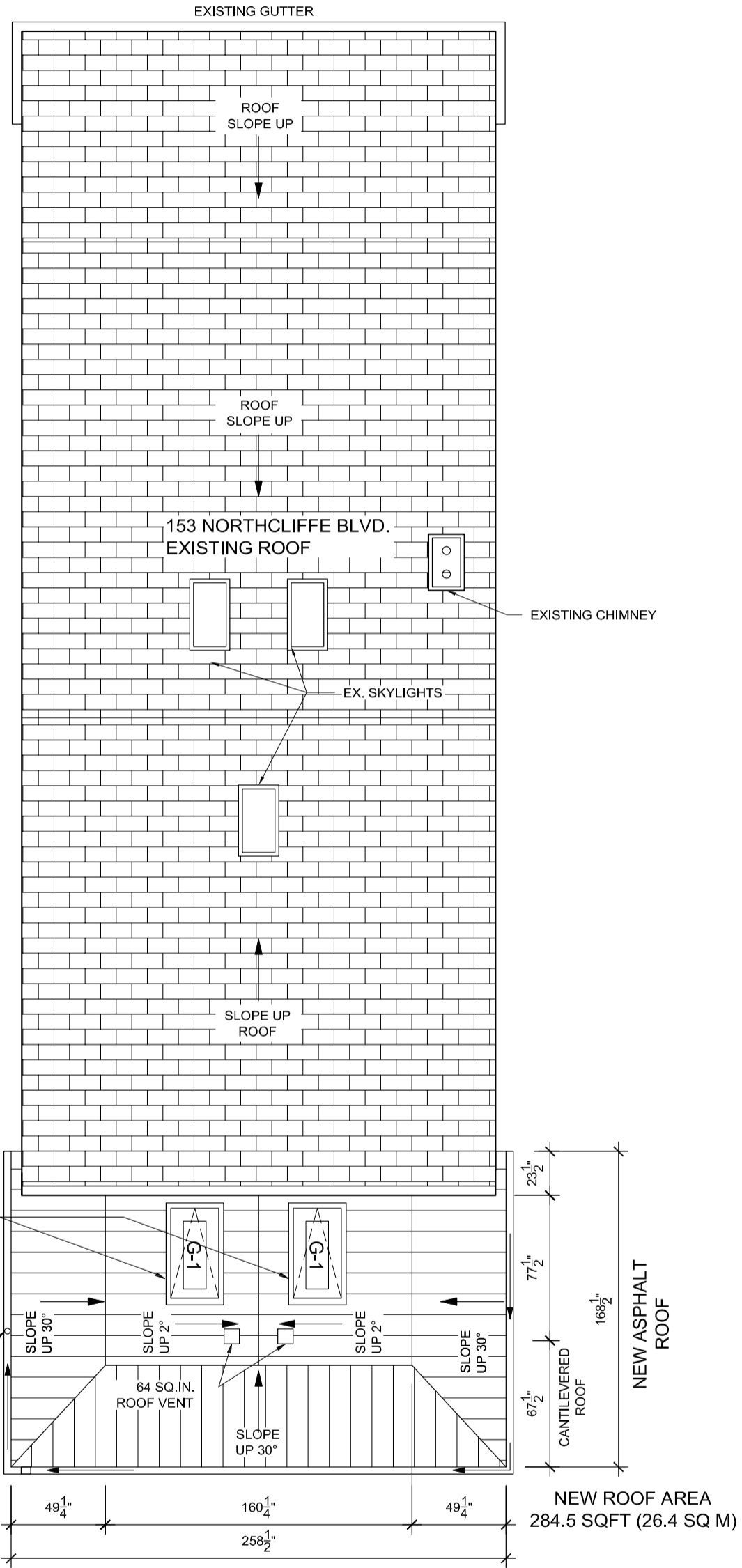
DATE: 01/12/11

STRUCTURAL INTEGRITY:
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 O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY NOTES:
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INTERIOR FINISHES
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 Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.
 Light Diffusers, max FSR 250 and Smoke Classification rating max 600
 O.B.C. 9.10.17

INTERIOR
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REGISTRATION	INFORMATION	40027
COMPANY	SIGNATURE	BCIN



1
A-5

PROPOSED ROOF PLAN

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SITE:		
Whalerjack 225 Sterling Road, Unit 200B Toronto, ON, M6R 2B2		
REASON	INITIAL	DATE
design		07/10/11
submission for permit		1/12/11

PROPOSED ROOF PLAN	
SCALE:	0' IMPERIAL SCALE 5'
	305MM METRIC SCALE 1524MM

DWG NO:	A-5
DRAWN BY:	K.L. & M.M.
CHECKED BY:	T.M.
DATE:	01/12/11

