

ZONING		EXISTING		PROPOSED		DRAWING LIST	
COMMERCIAL RESIDENTIAL		Land Parcel-		ADDITION FLOOR AREA - 124.3 Sq m		Z-1 SITE PLAN	
LOT 13 Part of 47J-23		201 Sq m		(1338 Sq ft)		D-1 SECOND FLOOR DEMO PLAN	
REGISTERED PLAN 553		(2164 Sq ft)		EXISTING GFA-		ROOF DEMO PLAN	
CR 2.5(c1.0; r2.0) SS2 (x2220)		First Floor Area-		251 Sq m		D-2 EXTERIOR DEMO PLAN	
Max Non-Residential FS-		129.3 Sq m		(2702 Sq ft)		ELEVATION	
1.0		(1392 Sq ft)		NEW TOTAL GFA-		A-1 EXISTING BASEMENT PLAN	
Max Residential FS-		121.7 Sq m		375.3 Sq m		EXISTING FIRST FLOOR PLAN	
2.0		(1310 Sq ft)		NEW RESIDENTIAL GFA - 246 Sq m		A-2 PROPOSED SECOND FLOOR PLAN	
Max Building Depth-		Total Existing GFA-		251 Sq m		PROPOSED THIRD FLOOR PLAN	
-		(2702 Sq ft)		PROPOSED FSI (non residential) - .64		A-3 PROPOSED THRID FLOOR PLAN	
Max Height-		Existing FSI (Non-Residential)- 0.64		PROPOSED FSI (residential) - 1.22		PROPOSED ROOF PLAN	
14m (45' 11")		Existing FSI (Residential) - 0.61		PROPOSED DWELLING LENGTH - 24.8m		A-4 LONGITUDINAL SECTION	
SETBACKS		Existing Building Length- 24.8m		(81' 4-3/8")		A-5 CROSS SECTIONS	
Min. Front Yard Setback- 3m		(81' 4-3/8")		PROPOSED BUILDING HEIGHT- 12.13m		A-6 PROPOSED NORTH ELEVATION	
Min. Rear Yard Setback- 5.5m				(39' 9-3/4")		PROPOSED SOUTH ELEVATION	
Min. Side Yard Setback- 0m						A-7 PROPOSED EAST ELEVATION	
(with window/ openings) or 1.5m						PROPOSED WEST ELEVATION	
(with no windows)						N-1 CONSTRUCTION NOTES	
						N-2 CONSTRUCTION NOTES	
						STRUCTURAL DRAWINGS	
						S-01 STRUCURAL NOTES & FOUNDATION PLAN	
						S-02 GROUND FLOOR FRAMING PLAN	
						S-03 THIRD FLOOR FRAMING PLAN	
						THIRD FLOOR FRAMING PLAN	
						S-04 ROOF FRAMING PLANS	
						S-05 SECTIONS DETAILS	
						PLUMBING	
						P-1 PLUMBING PLANS (EXISTING)	
						P-2 PLUMBING PLANS (PROPOSED)	

SITE:

AGAINST ANY UNAUTHORIZED REPRODUCTION

CONTRACTOR TO VERIFY SITE MEASUREMENTS AND REPORT ANY DISCREPANCIES TO DESIGNER

DRAWINGS PREPARED FOR CONSTRUCTION PERMIT



The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
NAME	39135
REGISTRATION INFORMATION	BCN
COMPANY	40027
SIGNATURE	BCN

NO. | ISSUE: | DATE:

01	FOR PERMIT	02/01/12
02	FOR PERMIT	08/02/12

SITEPLAN/
ZONING INFO/
DRAWING LIST

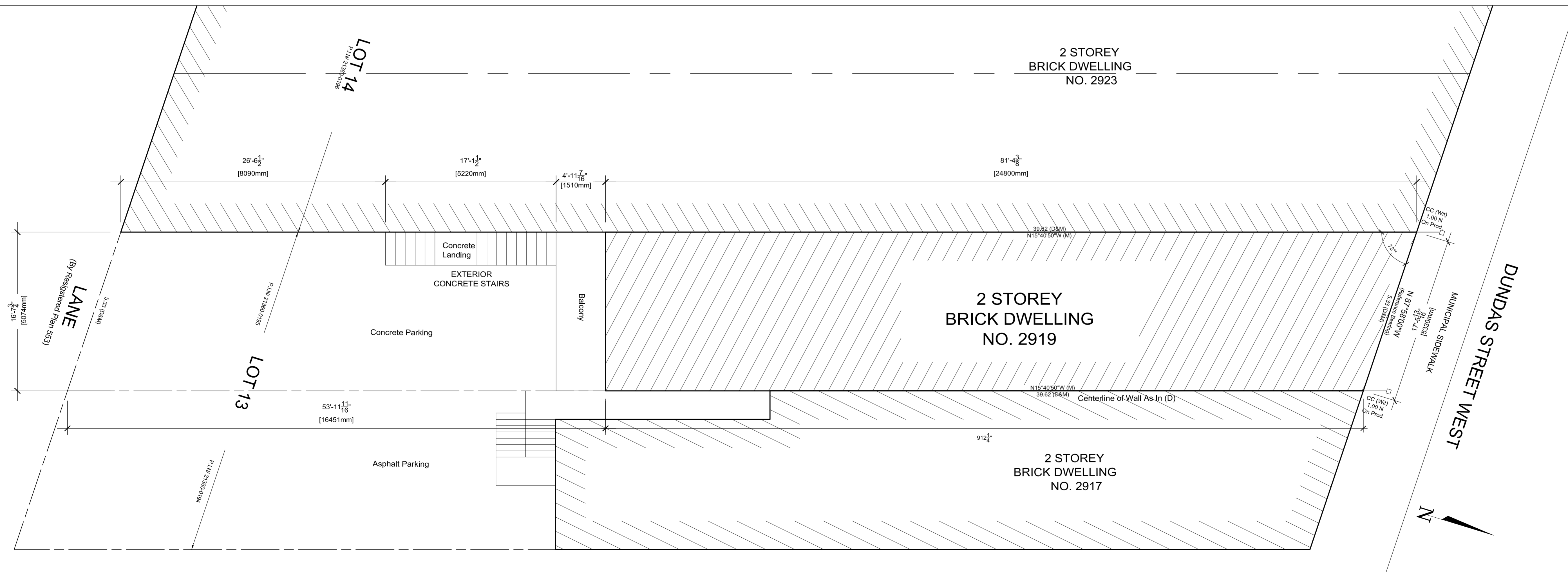
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DATE: 08/02/2012

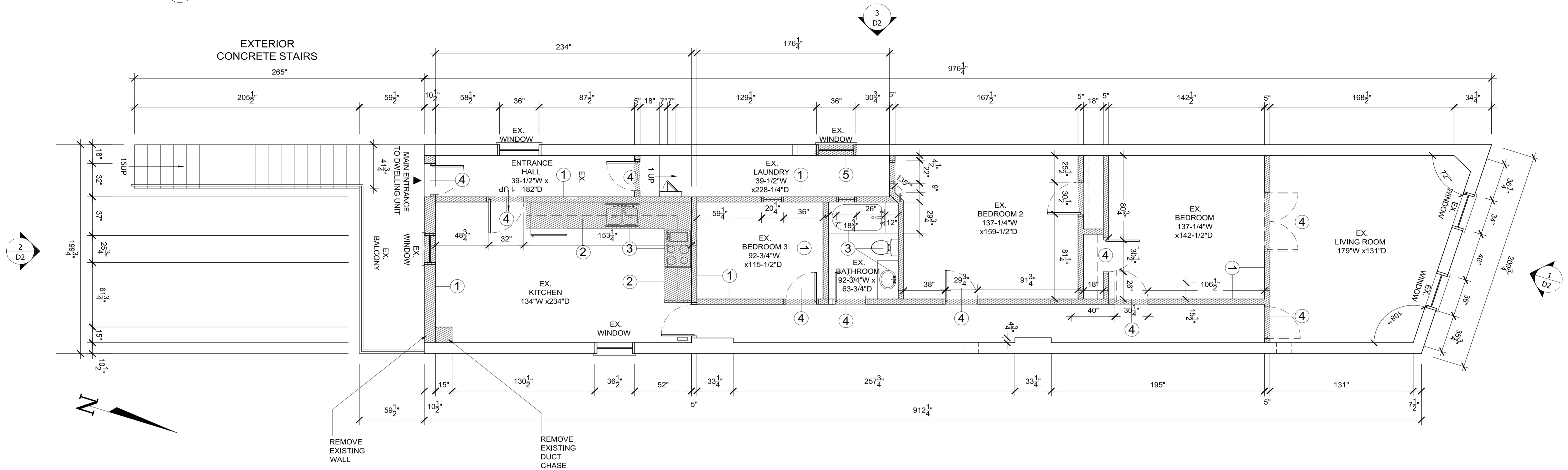
DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO:

Z-1

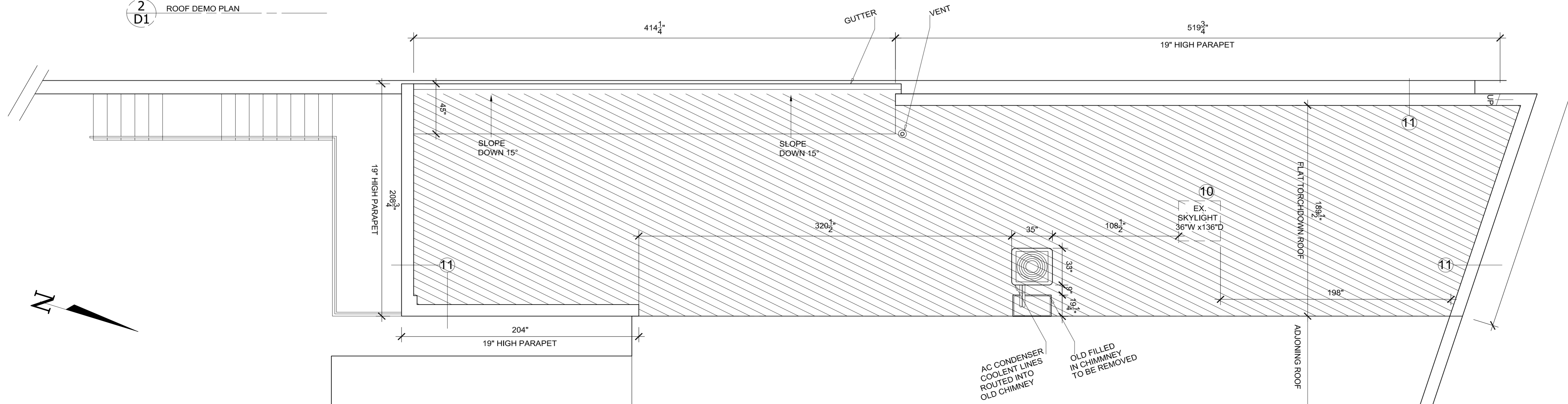


1
D1 2ND FLOOR DEMO PLAN



DEMOLITION PLAN KEY NOTES	
SYMBOL	DESCRIPTION
①	EXISTING WALLS (SHOWN AS HATCHED) TO BE REMOVED AND DISPOSED OF, AS PER CONTRACTOR. ANY SERVICES IN WALLS MUST BE LEFT FOR A QUALIFIED ELECTRICIAN, PLUMBER OR HVAC CONTRACTOR TO REMOVE/RELOCATE AND RECONNECT. SEE S-2 FOR WALL REMOVAL UNDER BM-1.
②	EXISTING CABINETS TO BE REMOVED, AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
③	EXISTING APPLIANCES & FIXTURES TO BE REMOVED AND DISPOSED OF PROPERLY AS PER CONTRACTOR.
④	EXISTING DOOR(S) TO BE REMOVED, AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑤	EXISTING WINDOW(S) TO BE REMOVED, AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑥	EXISTING CONCRETE STAIRS TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑦	EXISTING TILES TO BE REMOVED FROM CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑧	EXISTING RAILING TO BE REMOVED FROM CONCRETE CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. SALVAGE PICKETS
⑨	EXISTING SILL TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑩	EXISTING SKYLIGHT TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑪	EXISTING PARAPET TO BE REMOVED FROM ROOF AND DISPOSED OF PROPERLY, AS PER CONTRACTOR
⑫	EXISTING TORCH ON ROOF (SHOWN AS HATCHED) TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. SALVAGE PICKETS

2
D1 ROOF DEMO PLAN

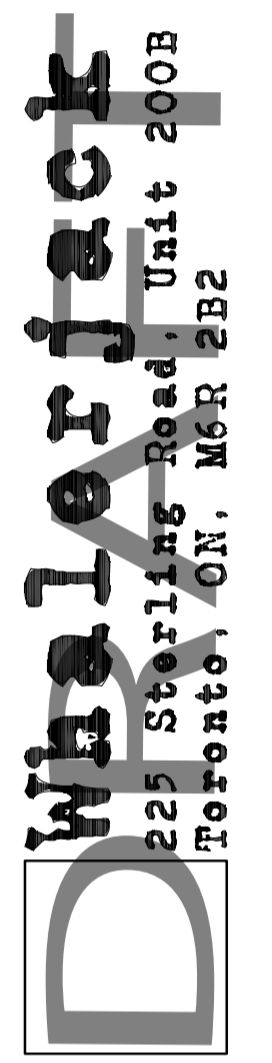


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2ND FLOOR DEMO PLAN

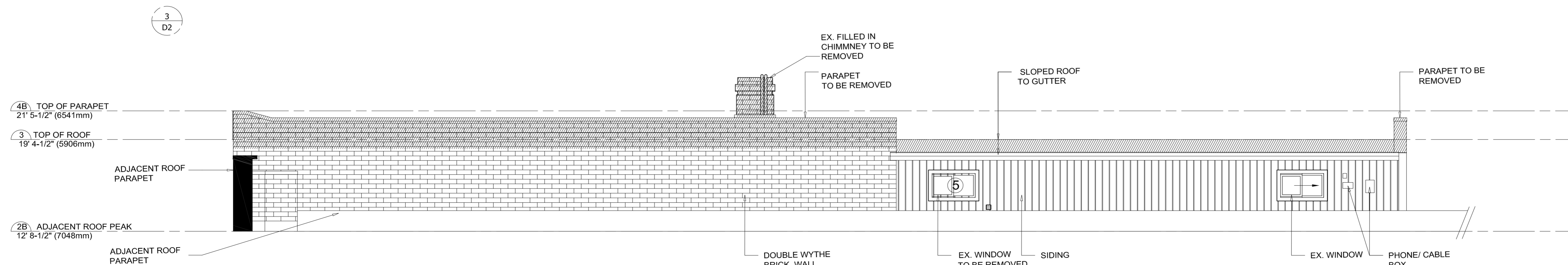
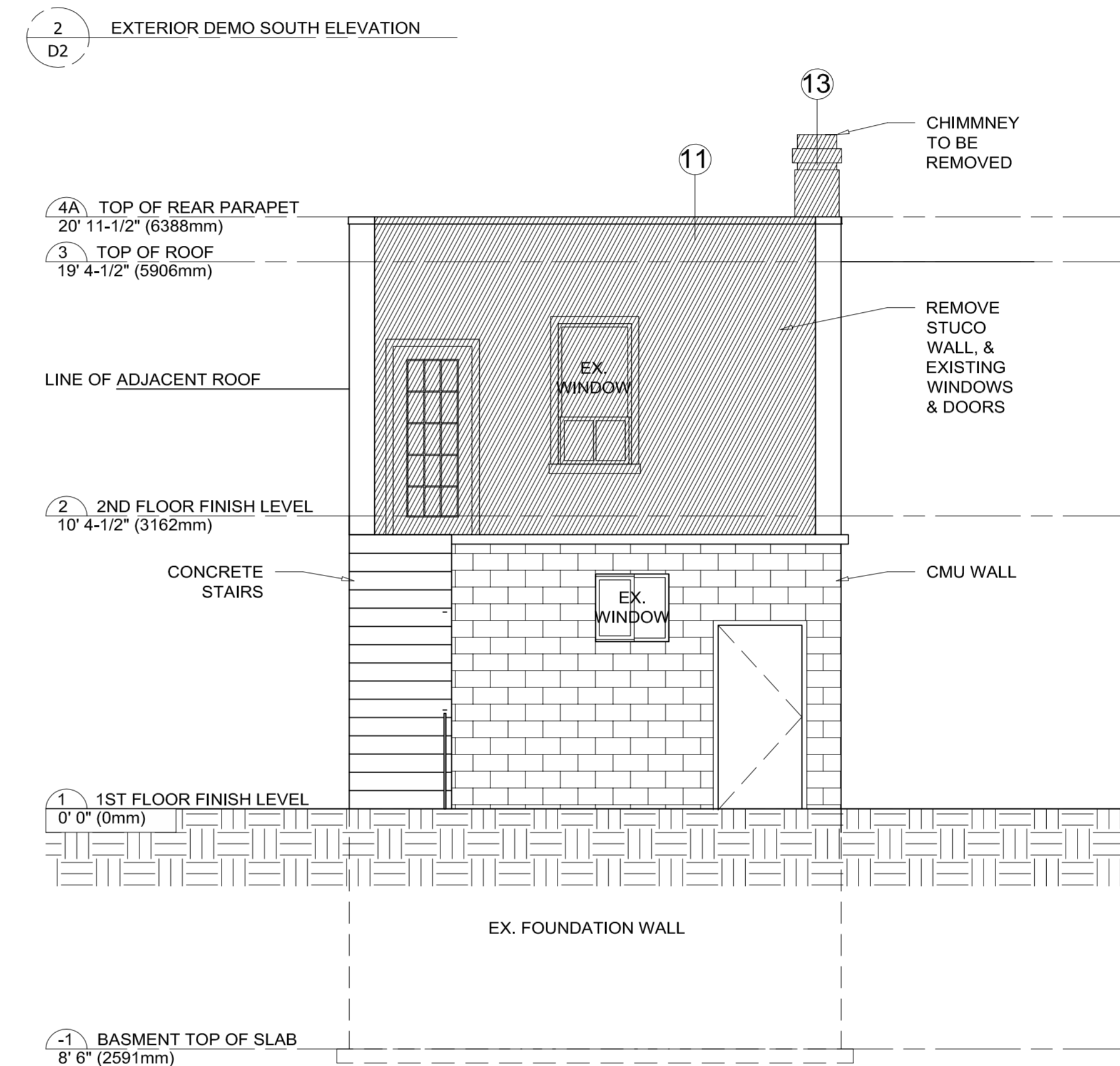
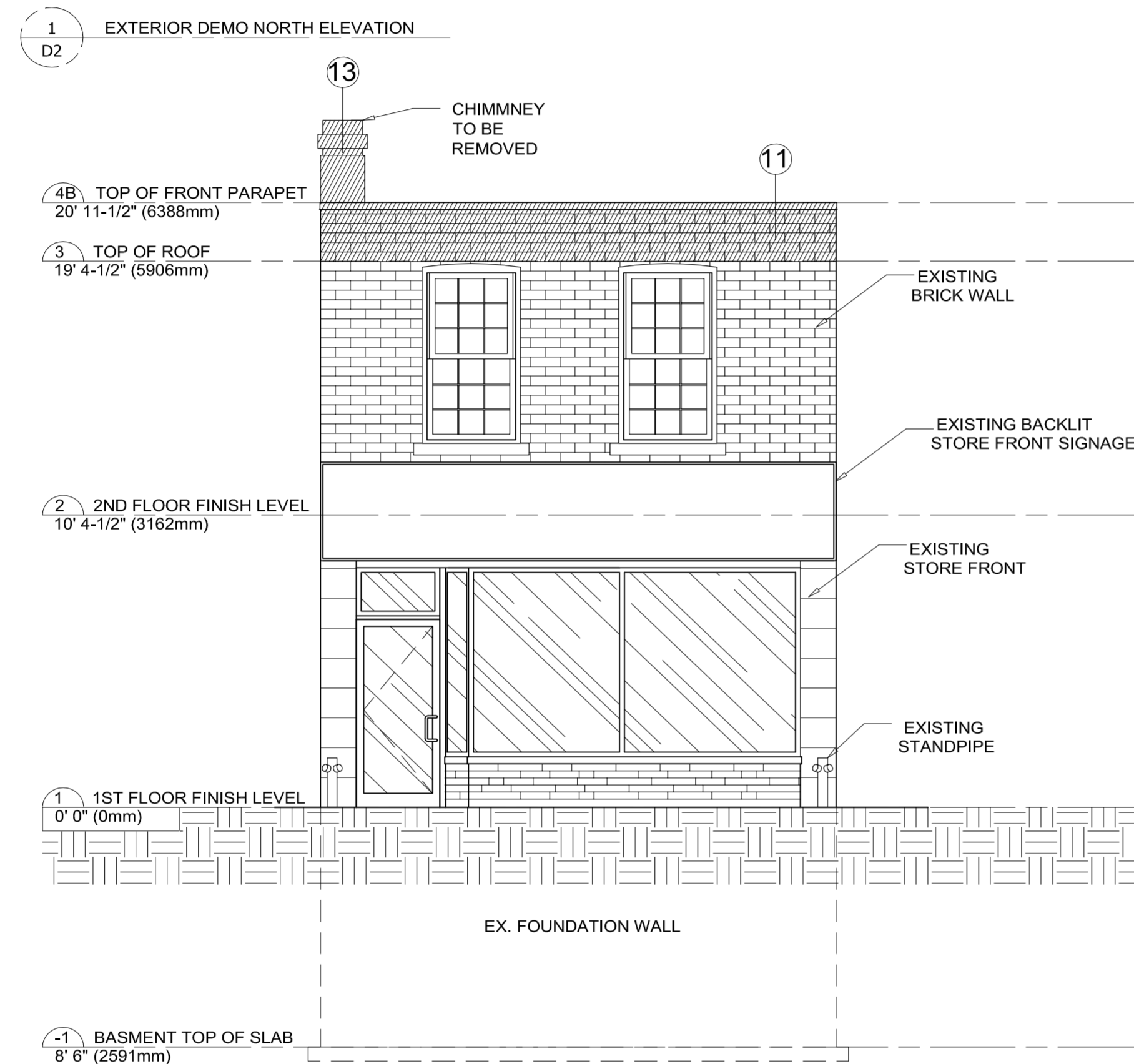
ROOF DEMO PLAN

SCALE: 1/4"=1'
DATE: 08/02/2012
DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO: **D-1**

DEMOLITION PLAN KEY NOTES

SYMBOL	DESCRIPTION
①	EXISTING WALLS (SHOWN AS HATCHED) TO BE REMOVED AND DISPOSED OF, AS PER CONTRACTOR. ANY SERVICES IN WALLS MUST BE LEFT FOR A QUALIFIED ELECTRICIAN, PLUMBER OR HVAC CONTRACTOR TO REMOVE/RELOCATE AND RECONNECT. SEE S-2 FOR WALL REMOVAL UNDER BM-1.
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③	EXISTING APPLIANCES & FIXTURES TO BE REMOVED AND DISPOSED OF PROPERLY AS PER CONTRACTOR.
④	EXISTING DOOR(S) TO BE REMOVED, AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
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⑥	EXISTING CONCRETE STAIRS TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑦	EXISTING TILES TO BE REMOVED FROM CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑧	EXISTING RAILING TO BE REMOVED FROM CONCRETE CONCRETE VERANDAH AND DISPOSED OF PROPERLY, AS PER CONTRACTOR. SALVAGE PICKETS
⑨	EXISTING SILL TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑩	EXISTING SKYLIGHT TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑪	EXISTING PARAPET TO BE REMOVED FROM ROOF AND DISPOSED OF PROPERLY, AS PER CONTRACTOR
⑫	EXISTING TORCH ON ROOF (SHOWN AS HATCHED) TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.
⑬	EXISTING CHIMNEY TO BE REMOVED AND DISPOSED OF PROPERLY, AS PER CONTRACTOR.



SITE:

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DRAWINGS PREPARED FOR CONSTRUCTION PERMIT



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EXTERIOR DEMO

NORTH ELEVATION

SOUTH ELEVATION

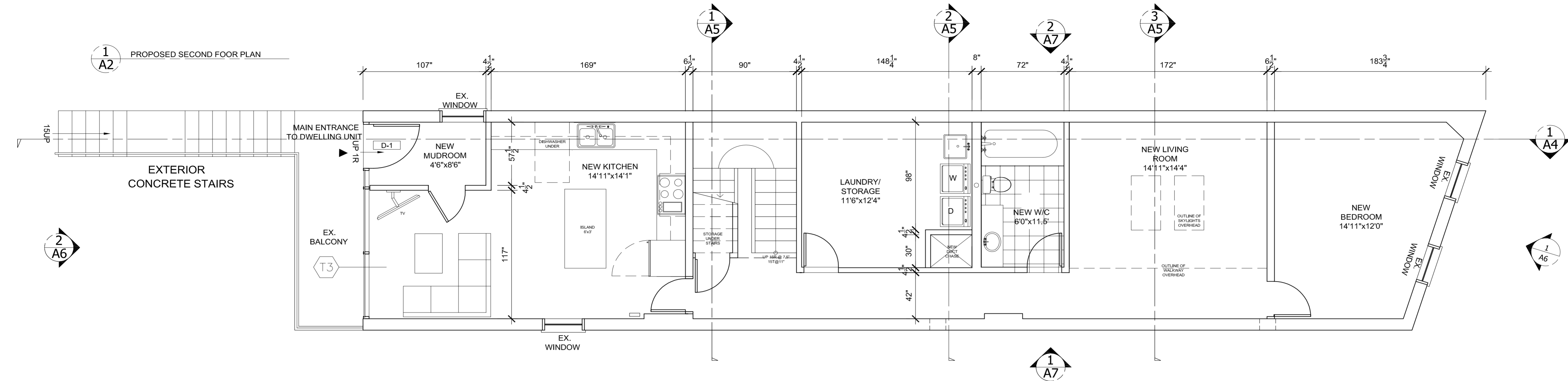
WEST ELEVATION

SCALE: 1/4"=1'

DATE: 08/02/2012

DRAWN BY: K.L. & M.M. CHECK BY: T.M.

DWG NO: **D-2**



DESIGN REQUIREMENTS
Steel Structural Members shall conform to CAN/CSA-S16 "Limit States Design of Steel Structures" O.B.C. 4.3.4

Anchor Systems on Building Exterior shall be S.S or corrosion resistant or galvanized O.B.C. 4.4.4

Precautions shall be taken during all stages of construction to ensure that the building is not damaged or distorted due to loads applied during construction O.B.C.4.1.1.3

STRUCTURAL INTEGRITY:
All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability. O.B.C., 9.23.2.1.

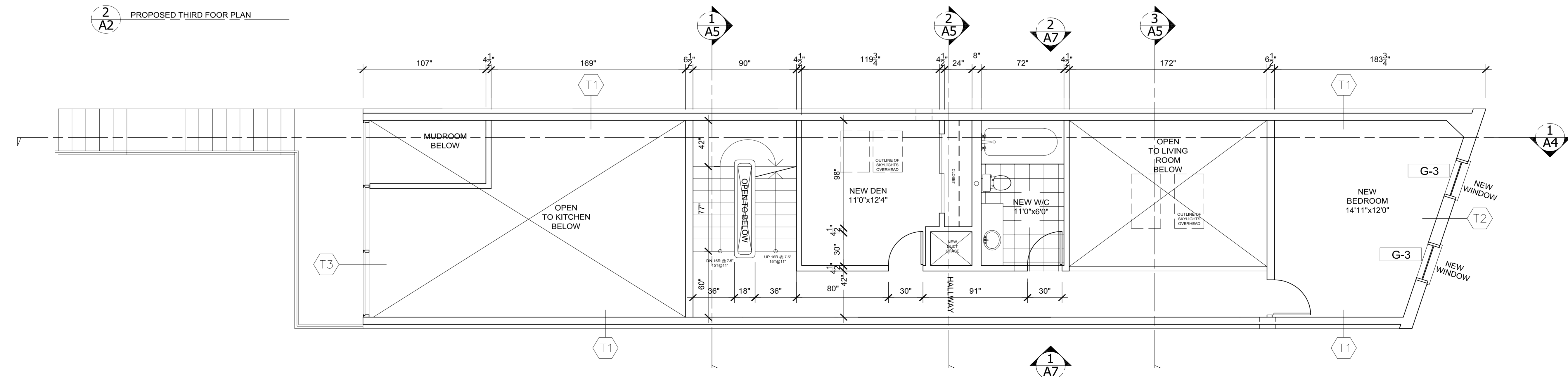
STRUCTURAL ADEQUACY NOTES:
Verify/reinforce existing support system, including foundations, for loads imposed by the proposed construction

INTERIOR FINISHES
Flame Spread Rating of interior walls and ceiling finishes, max 150.
Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.
Light Diffusers, max FSR 250 and Smoke Classification rating max 600 O.B.C. 9.10.17

INTERIOR
All new wall switches and shall not be more than 1.2m above finished floor.

RANGE HOOD EXHAUST
Supply return and exhaust air openings located less than 2000, above the floor shall be protected by grilles having openings of a size that will not allow the passage of a 15mm diameter sphere.

Combustible grilles, diffusers and other devices for supply, return and exhaust air openings in rooms shall conform to the flame-spread rating of 150 and Smoke development classification of 600 O.B.C 6.2.3.12



SITE:

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DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

Walter Jack
225 Sterling Road, Unit 200B
Toronto, ON, M6R 2B2

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PROPOSED 2ND FLOOR PLAN 3RD FLOOR PLAN

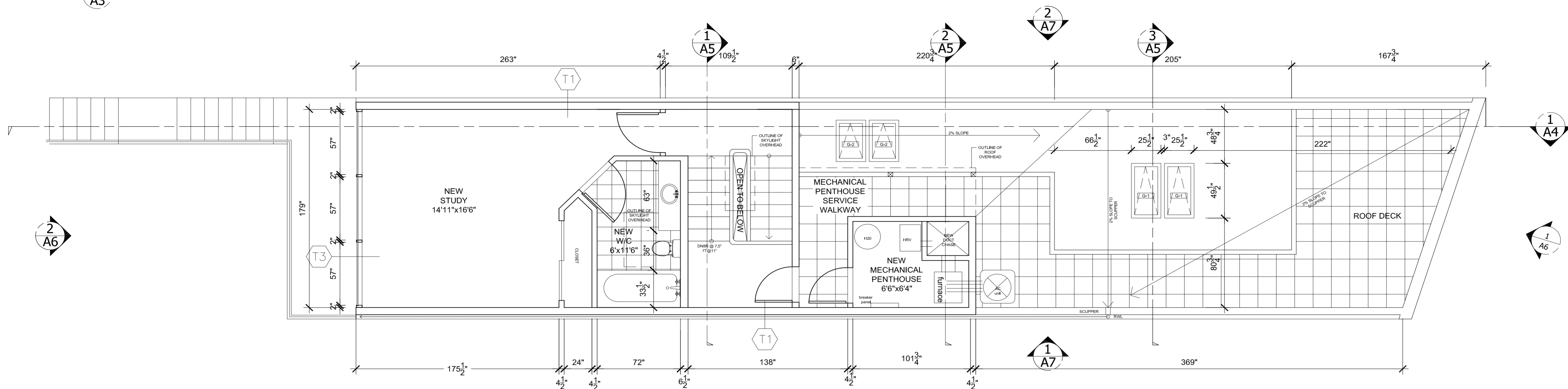
SCALE: 1/4"=1'

DATE: 08/02/2012

DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO: **A-2**

1
A3 PROPOSED THIRD FLOOR & ROOF PLAN



DESIGN REQUIREMENTS
Steel Structural Members shall conform to CAN/CSA-S16 "Limit States Design of Steel Structures" O.B.C. 4.3.4
Anchor Systems on Building Exterior shall be S.S or corrosion resistant or galvanized O.B.C. 4.4.4
Precautions shall be taken during all stages of construction to ensure that the building is not damaged or distorted due to loads applied during construction O.B.C.4.1.1.3

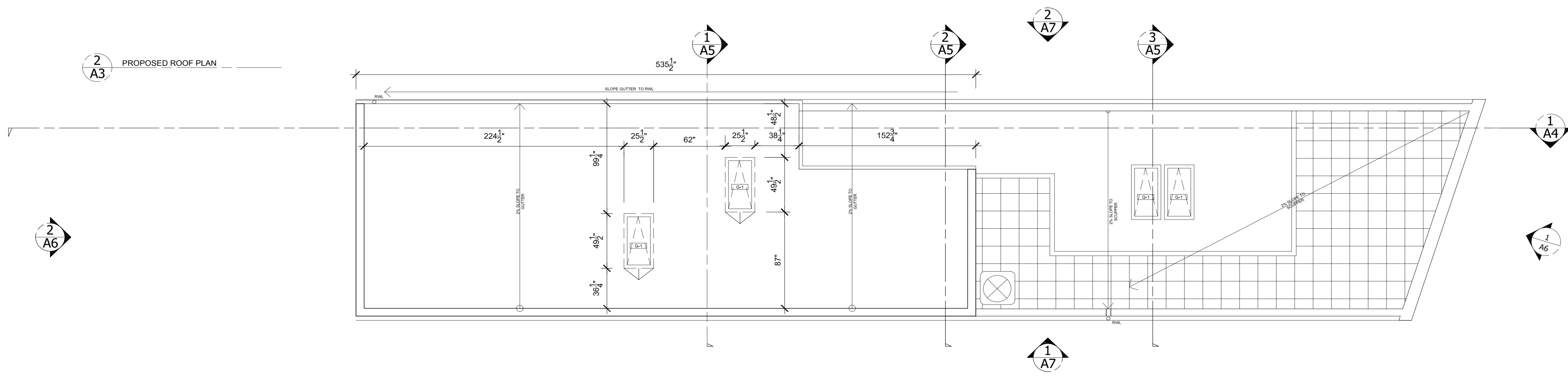
STRUCTURAL INTEGRITY:
All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability. O.B.C., 9.23.2.1.
STRUCTURAL ADEQUACY NOTES:
Verify/reinforce existing support system, including foundations, for loads imposed by the proposed construction

INTERIOR FINISHES
Flame Spread Rating of interior walls and ceiling finishes, max 150.
Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.
Light Diffusers, max FSR 250 and Smoke Classification rating max 600 O.B.C. 9.10.17
INTERIOR
All new wall switches and shall not be more than 1.2m above finished floor.

RANGE HOOD EXHAUST
Supply return and exhaust air openings located less than 2000, above the floor shall be protected by grilles having openings of a size that will not allow the passage of a 15mm diameter sphere.

Combustible grilles, diffusers and other devices for supply, return and exhaust air openings in rooms shall conform to the flame-spread rating of 150 and Smoke development classification of 600 O.B.C 6.2.3.12

2
A3 PROPOSED ROOF PLAN

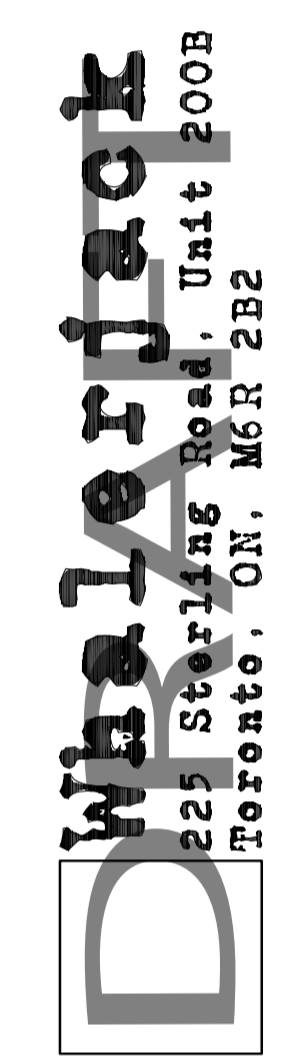


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DRAWINGS PREPARED FOR CONSTRUCTION PERMIT



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PROPOSED 3RD FLOOR PLAN ROOF PLAN

SCALE: 1/4"=1'
DATE: 08/02/2012
DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO: **A-3**

SITE:

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DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

Who's Who in Architecture
225 Sterling Road, Unit 200B
Toronto, ON, M6R 2B2

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QUALIFICATION INFORMATION

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SIGNATURE:	BCN
REGISTRATION INFORMATION:	40027
COMPANY:	BCN

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PROPOSED LONGITUDINAL SECTION

SCALE: 1/4"=1'
DATE: 08/02/2012
DRAWN BY: K.L. & M.M. CHECK BY: T.M.

DWG NO: **A-4**

DESIGN REQUIREMENTS

Steel Structural Members shall conform to CAN/CSA-S16 "Limit States Design of Steel Structures"
O.B.C. 4.3.4

Anchor Systems on Building Exterior shall be S.S or corrosion resistant or galvanized
O.B.C. 4.4.4

Precautions shall be taken during all stages of construction to ensure that the building is not damaged or distorted due to loads applied during construction
O.B.C.4.1.1.3

STRUCTURAL INTEGRITY:

All members shall be so framed, fastened and braced and anchored to provide the necessary strength, rigidity and stability.
O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY NOTES:

Verify/reinforce existing support system, including foundations, for loads imposed by the proposed construction

INTERIOR FINISHES

Flame Spread Rating of interior walls and ceiling finishes, max 150.
Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.
Light Diffusers, max FSR 250 and Smoke Classification rating max 600
O.B.C. 9.10.17

INTERIOR

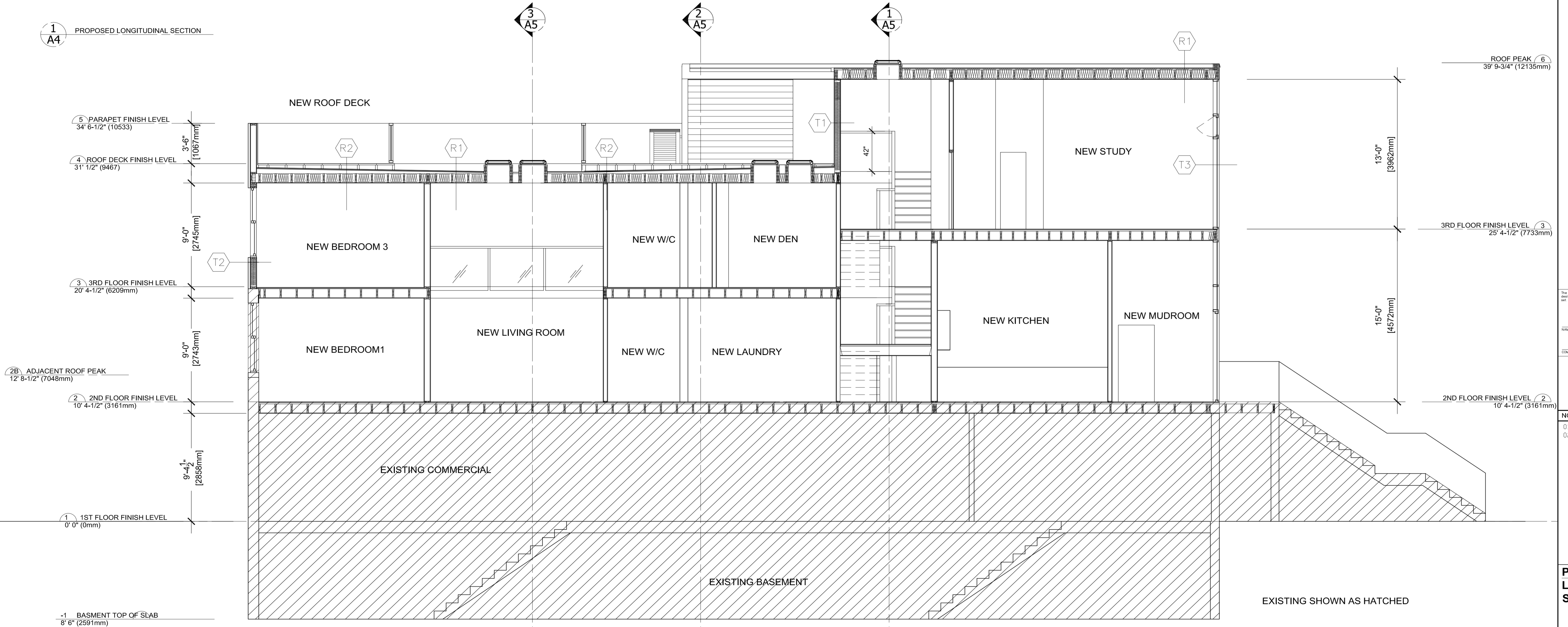
All new wall switches and shall not be more than 1.2m above finished floor.

RANGE HOOD EXHAUST

Supply return and exhaust air openings located less than 2000, above the floor shall be protected by grilles having openings of a size that will not allow the passage of a 15mm diameter sphere.

Combustible grilles, diffusers and other devices for supply, return and exhaust air openings in rooms shall conform to the flame-spread rating of 150 and Smoke development classification of 600
O.B.C 6.2.3.12

1 A4 PROPOSED LONGITUDINAL SECTION



EXISTING SHOWN AS HATCHED

DESIGN REQUIREMENTS

Steel Structural Members shall conform to CAN/CSA-S16 "Limit States Design of Steel Structures"
O.B.C. 4.3.4

Anchor Systems on Building Exterior shall be S.S or corrosion resistant or galvanized
O.B.C. 4.4.4

Precautions shall be taken during all stages of construction to ensure that the building is not damaged or distorted due to loads applied during construction
O.B.C.4.1.1.3

STRUCTURAL INTEGRITY:

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O.B.C., 9.23.2.1.

STRUCTURAL ADEQUACY

NOTES:
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INTERIOR FINISHES

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Flame Spread Rating of interior walls and ceiling finishes in Bathrooms, max 200.
Light Diffusers, max FSR 250 and Smoke Classification rating max 600
O.B.C. 9.10.17

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O.B.C 6.2.3.12

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DRAWINGS PREPARED FOR CONSTRUCTION PERMIT

Whalerjack
225 Sterling Road, Unit 200B
Toronto, ON, M6R 2B2

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PROPOSED CROSS SECTIONS

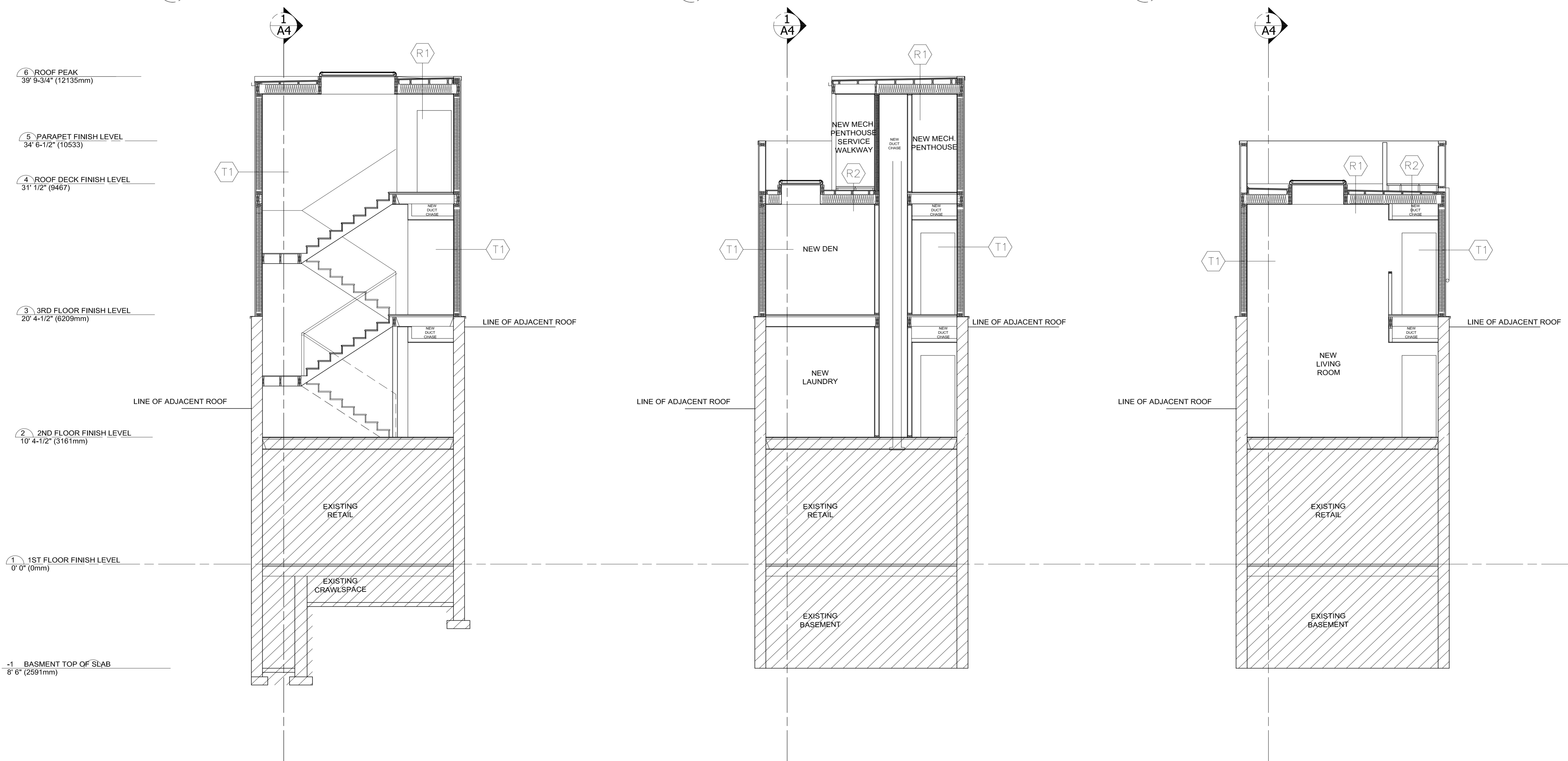
SCALE: 1/4"=1'
DATE: 08/02/2012
DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO: **A-5**

1 A5 PROPOSED CROSS SECTION

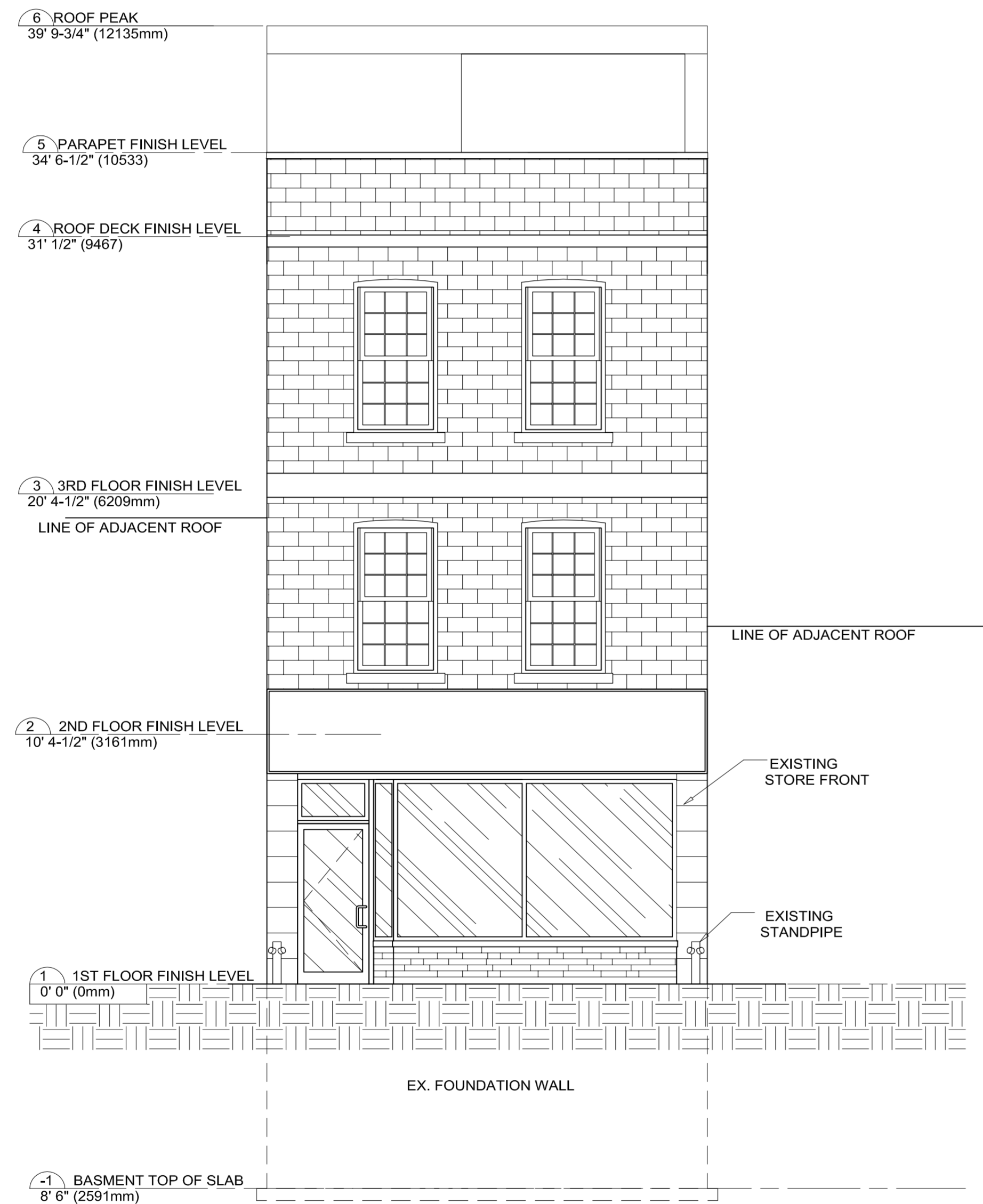
2 A5 PROPOSED CROSS SECTION

3 A5 PROPOSED CROSS SECTION

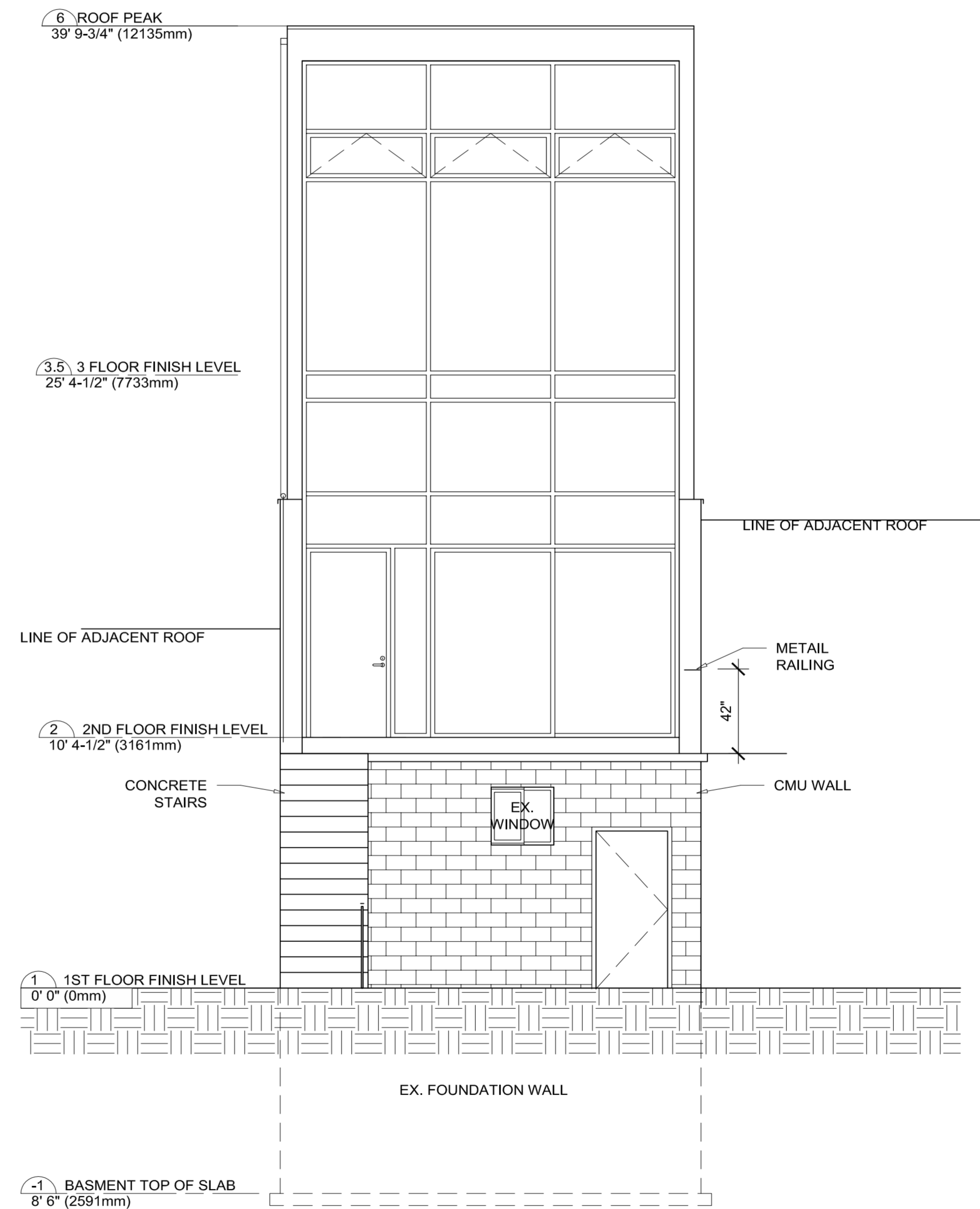


- 6 ROOF PEAK
39' 9-3/4" (12135mm)
- 5 PARAPET FINISH LEVEL
34' 6-1/2" (10533)
- 4 ROOF DECK FINISH LEVEL
31' 1/2" (9467)
- 3 3RD FLOOR FINISH LEVEL
20' 4-1/2" (6209mm)
- 2 2ND FLOOR FINISH LEVEL
10' 4-1/2" (3161mm)
- 1 1ST FLOOR FINISH LEVEL
0' 0" (0mm)
- 1 BASEMENT TOP OF SLAB
8' 6" (2591mm)

1
A6 PROPOSED NORTH ELEVATION



2
A6 PROPOSED NORTH ELEVATION



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**PROPOSED
NORTH ELEVATION
SOUTH ELEVATION**

SCALE: 1/4"=1'

DATE: 08/02/2012

DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO:

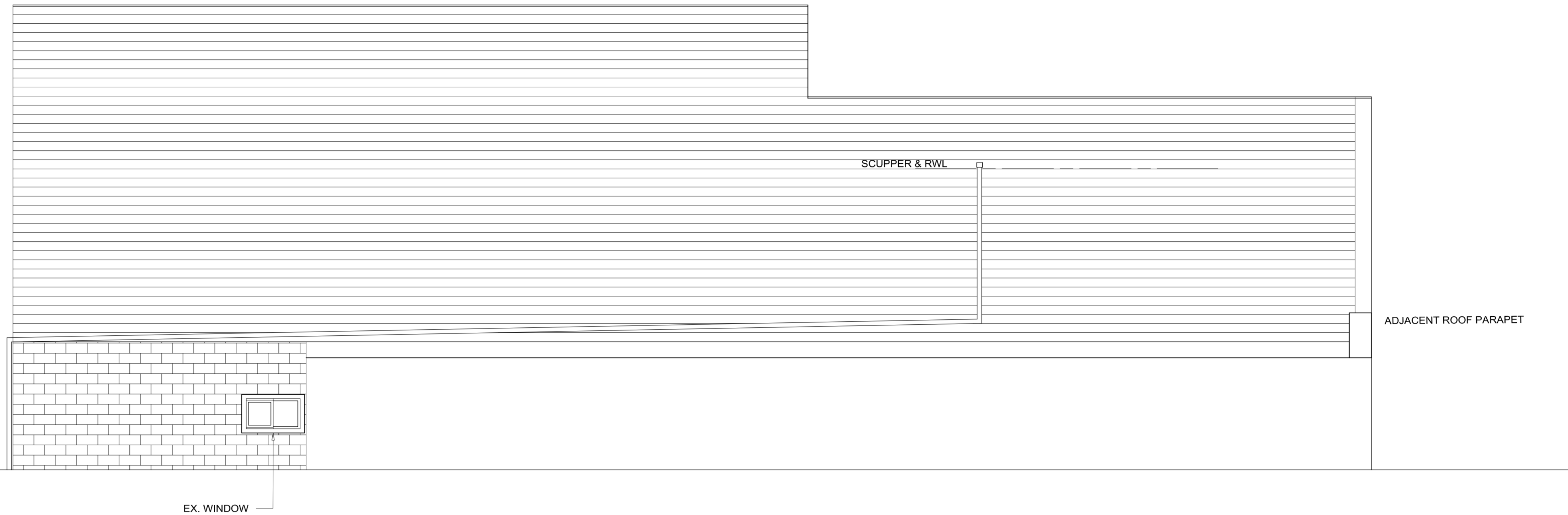
A-6

1
A7
PROPOSED NORTH ELEVATION

5 ROOF PEAK
39' 9-3/4" (12135mm)

3.5 3 FLOOR FINISH LEVEL
25' 4-1/2" (7733mm)

2B ADJACENT ROOF PEAK
19' 4-1/2" (5909mm)



2
A7
PROPOSED NORTH ELEVATION

5 ROOF PEAK
39' 9-3/4" (12135mm)

5 PARAPET FINISH LEVEL
34' 6-1/2" (10533)

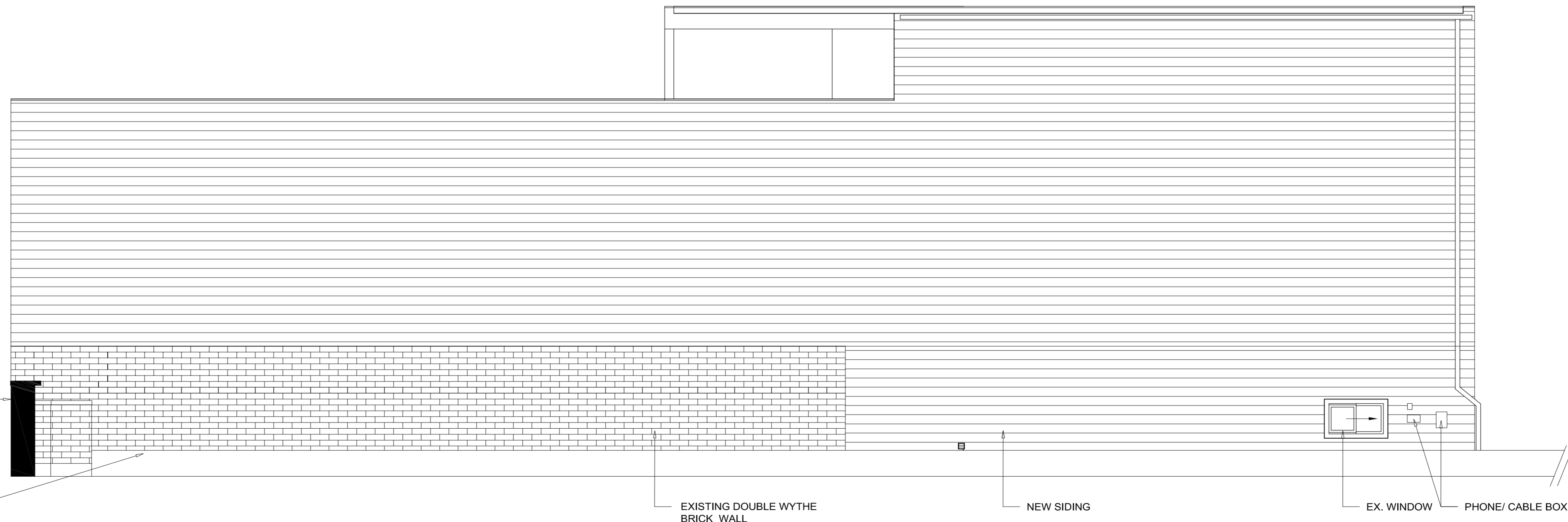
4 ROOF DECK FINISH LEVEL
31' 1/2" (9467)

3 3RD FLOOR FINISH LEVEL
20' 4-1/2" (6209mm)

2B ADJACENT ROOF PEAK
12' 8-1/2" (7048mm)

ADJACENT ROOF PARAPET

ADJACENT ROOF PARAPET



EXISTING DOUBLE WYTHE
BRICK WALL

NEW SIDING

EX. WINDOW

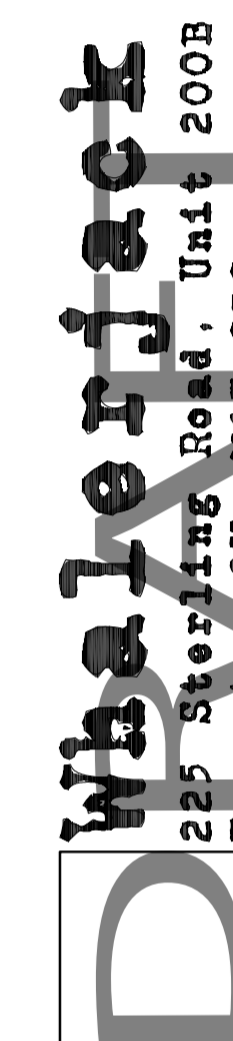
PHONE/ CABLE BOX

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**PROPOSED
EAST ELEVATION
WEST ELEVATION**

SCALE: 1/4"=1'

DATE: 08/02/2012

DRAWN BY: K.L & M.M
CHECK BY: T.M

DWG NO:

A-7